

INSPECTION REPORT



For the Property at:
35 DARRELL AVENUE
TORONTO, ON M4E 2G5

Prepared for: FRANK HRIBAR
Inspection Date: Tuesday, March 25, 2025
Prepared by: Michael Tita



Elite Team Home Inspections
2325 Hurontario Street, Suite 322
Mississauga, ON L5A 4K4
416-453-4192

inspector.miketita@gmail.com



May 1, 2025

Dear Frank Hribar,

RE: Report No. 4401, v.2
35 Darrell Avenue
Toronto, ON
M4E 2G5

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Michael Tita
on behalf of
Elite Team Home Inspections

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INVOICE

May 1, 2025

Client: Frank Hribar

Report No. 4401, v.2

For inspection at:

35 Darrell Avenue

Toronto, ON

M4E 2G5

on: Tuesday, March 25, 2025

Inspection		\$500.00
	Tax_HST_13%HST#	\$65.00
	8734159	
	05	
	Total	<u>\$565.00</u>

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SUMMARY

Report No. 4401, v.2

35 Darrell Avenue, Toronto, ON March 25, 2025

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Plumbing

WASTE PLUMBING \ Drain piping - performance

Condition: • Cast iron drain pipes. (Past its typical life expectancy) These drain pipes can be tied into clay drain pipes underground and beyond the foundation of the home.

Recommend having piping scoped with a drain camera (all the way to the city connection) to check the condition and determine how urgent replacing or upgrading the pipes would be.

This piping issue is typical to this age bracket of home, and if only in use on the vent stack or vertical sections replacement may not be required

Location: Section(s) noted in basement or above the roof

Task: Further evaluation

Time: Unpredictable

Cost: Depends on work needed - Major when replacing

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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Descriptions

The home is considered to face: • North

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles

Flat roofing material: • [Modified bitumen membrane](#)

Probability of leakage: • Low

Approximate age: • 0 to 5 years

Typical life expectancy: • 15 to 20 years

Inspection Methods & Limitations

Inspection performed:

- With binoculars from the ground
- From roof edge
(Within reach of a 13.5' telescopic ladder and when safe to do so)
- From a window
- From the attic/ roof underside

Not included as part of a building inspection:

- Antennas
- Or satellite dishes (If any)

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Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#)

Soffit & fascia (underside and front of eaves): • [Aluminum](#)

Wall surfaces and trim: • [Brick](#) • [Vinyl siding](#)

Retaining wall: • None N/A, or decorative • Concrete/ cinder block

Walkway: • Concrete • Pavers

Deck: • Wood

Porch: • Wood

Exterior steps: • Wood

Balcony: • None N/A

Patio: • Pavers

Fence: • Wood

Observations & Recommendations

WALLS \ Masonry (brick, stone) and concrete

1. Condition: • Deteriorated or damaged

Clay brick will deteriorate if close to grade and absorbing moisture also we recommend using enviromentally friendly ice melter in winter seasons to avoid masonry deterioration

Location: Various

Task: Repair or replace

Time: Unpredictable

Cost: Depends on work needed



3. Deteriorated or damaged



4. Deteriorated or damaged

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5. Deteriorated or damaged



6. Deteriorated or damaged

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

2. Condition: • Aging/ deteriorating

Location: Deck

Task: Repair

Time: Unpredictable

LANDSCAPING \ Walkway

3. Condition: • [Improper slope or drainage](#)

Location: Along right side of home

Task: Repair

Time: Immediate

Cost: Preventative recommendation - Depends on approach

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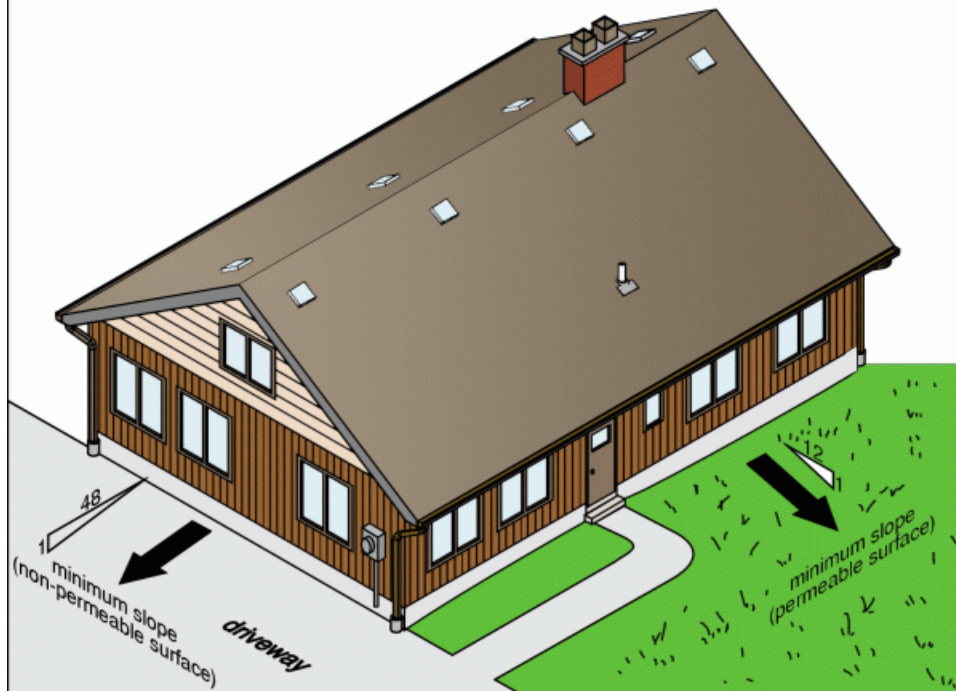
INTERIOR

PARKING ST

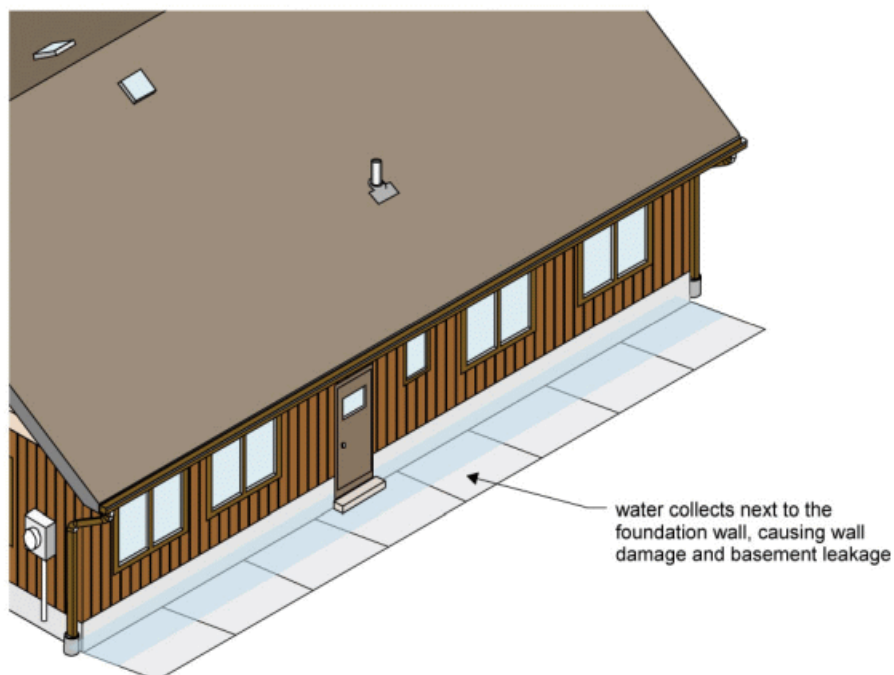
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Recommended grading slopes



Walk/patio sloping towards house



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7. Improper slope or drainage

Inspection Methods & Limitations

No or limited access to: • Area below steps, deck, porches

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls • Geological and soil conditions • Recreational facilities • Outbuildings other than garages and carports • Seawalls, breakwalls, docks • Erosion control, earth stabilization measures • Fenced areas that are not accessible via a gate.

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
PARKING ST	SITE INFO	REFERENCE							

Descriptions

Configuration: • [Basement](#)

Foundation material: • [Brick](#)

Floor construction: • [Joists](#) • Subfloor - plank

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing:

• Rafters/ceiling joists



8. Rafters/ceiling joists

• [Plank sheathing](#)

Party wall: • [Wood frame](#) • Extends to/ through the roof-line

Observations & Recommendations

FOUNDATIONS \ General notes

4. Condition: • Typical minor settlement

Location: Various

Task: Monitor

Time: Ongoing

WALLS \ Party wall

5. Condition: • Incomplete

Recommend adding proper fire separation materials & closure to the common wall

Location: Attic common separation wall

Task: Improve/ repair

Time: Unpredictable

Cost: Minor - Depends on work needed



9. Incomplete

Inspection Methods & Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • Insulation • Painted foundation walls also hinders detecting structural or leak issues.

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 70 %

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components • Less than 24 inches of vertical clearance cannot be entered in under-floor crawlspace areas • Access opening smaller than 16 inches x 24 inches cannot be entered in under-floor crawlspace areas • Attic load bearing components concealed by insulation cannot be traversed

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Descriptions

Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size:

- [100 Amps \(240 Volts\)](#)



10. 100 Amps (240 Volts)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type & location: • [Breakers - basement](#)

System grounding material and type: • [Not visible](#)

Distribution panel type & location: • [Breakers - basement](#)

Distribution panel rating: • [100 Amps](#)

Auxiliary panel or components (subpanel) type and location: • None/ not found

Number of circuits installed:

- 26
- Listed below are the circuitry numbers/ break down

Stated by amperage first then number totals:

15a- 22

20a- 1

40a- 1

30a- 1

20a- 1

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - exterior](#) • [GFCI - kitchen](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • Present

Observations & Recommendations

DISTRIBUTION SYSTEM \ Lights

6. Condition: • [Loose](#)

Closet lighting, wiring all loose

Location: Front bedroom closet

Task: Repair

Time: Immediate

Cost: Very Minor



11. Loose

Inspection Methods & Limitations

Inspection limited/prevented by: • Storage • Insulation • Furniture • Concealed electrical.

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Remote control devices • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms • Solar, wind, and other renewable energy systems • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms • Back up power systems/ generators

HEATING

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Descriptions

Heating system type: • [Furnace](#)

Fuel/ energy/ heat source: • [Gas](#)

Furnace manufacturer:

• American Standard



12. American Standard

Heat distribution: • [Ducts and registers](#)

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent](#)

Combustion air source: • Outside

Approximate age: • [16 years](#)

Failure probability: • [Medium](#) • [High](#)

Air filter: • Disposable • 16" x 25" • 1" thick

Exhaust pipe (vent connector): • 636 High temp. plastic pipe (white)

Fireplace/stove: • None

Chimney/vent: • [Masonry](#) • High temperature plastic

Humidifier:

• [Trickle/cascade type](#)

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13. Trickle/cascade type

Mechanical ventilation system for building: • Kitchen exhaust fan • Washroom exhaust fan

Ancillary components: • None

Observations & Recommendations

HEATING SYSTEM - FURNACE/ AIR HANDLER \ Cabinet

7. Condition: • Service needed

Service recommended yearly by a qualified HVAC technician

Location: Furnace

Task: Service by an HVAC technician

Time: Before closing

Cost: Regular maintenance item

HEATING SYSTEM - FURNACE/ AIR HANDLER \ Humidifier

8. Condition: • Humidifier water pad requires regular cleaning or replacement

Usually once a year, have cleaned before use in the winter season

Location: Basement utility/ furnace room

Task: Clean

Time: Every year

Cost: Regular maintenance item

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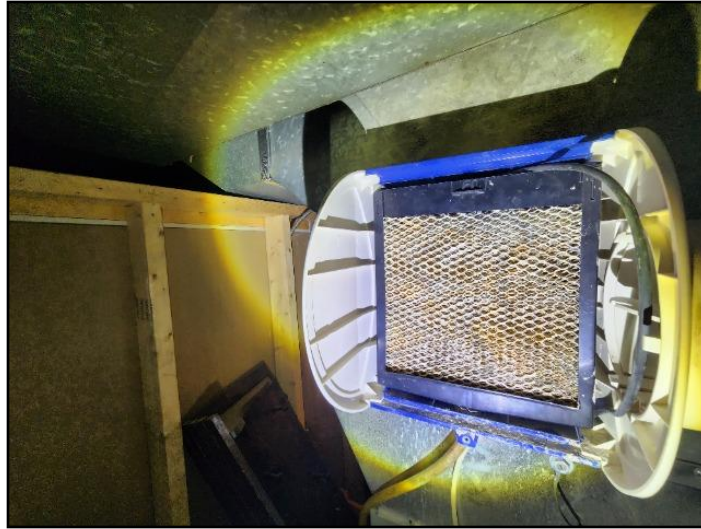
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14. Humidifier water pad requires regular...

Inspection Methods & Limitations

Inspection prevented/limited by: • Vent connectors, chimney interiors and flues are not inspected • Top of chimney too high to see well

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

Not included as part of a building inspection: • Interiors of vent systems, flues, and chimneys • Heat exchangers • Electronic air cleaners • Heating systems using ground source, water source, solar, and renewable energy technology • Whole house mechanical ventilation systems • Fireplace screens and doors • Mantles and fireplace surrounds • Heat effectiveness or efficiency could not be verified at all heat registers or radiator locations • In floor heating. Typically not tested due to the length of time required for the system to show heat being produced.

Not included as part of a building inspection: • Ultraviolet light, or specialty air filtering systems.

COOLING & HEAT PUMP

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Descriptions

Air conditioning/ cooling type: • Central • [Air cooled](#)

Manufacturer:

• American Standard



15. American Standard

Compressor type: • Electric

Compressor approximate age:

• 16 years

COOLING & HEAT PUMP

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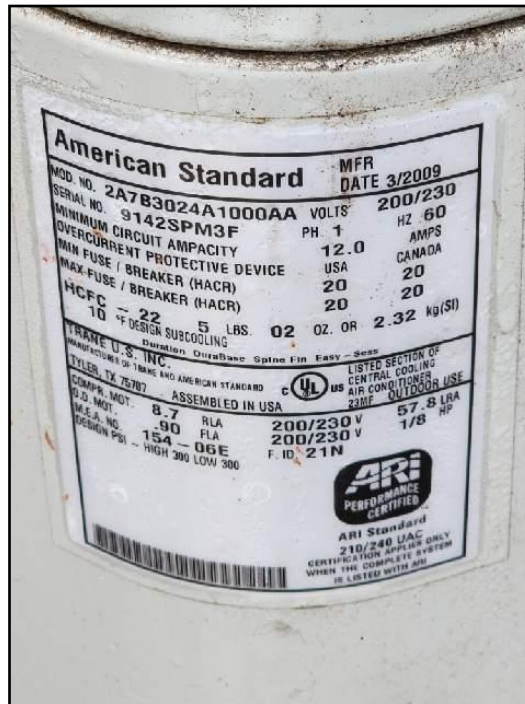
PLUMBING

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16. 16 years

Failure probability: • [Medium](#) • [High](#)

Evaporative cooler damper location: • [Rear of building](#)

Inspection Methods & Limitations

Inspection limited/prevented by: • Low outdoor temperature prevents testing of the A/C

Whole house fan: • House fan not tested

Heat gain calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

Not included as part of a building inspection: • Electronic air cleaners • Cooling system adequacy • Cooling system distribution balance • Window/ portable/ independent cooling systems • Ground source, water source, solar, and renewable energy technology • Heat gain or heat loss calculations

Descriptions

Attic/roof insulation material:

- [Glass fiber](#)



17. Glass fiber

Attic/roof insulation estimated amount/ rating: • [R-24](#) • [R-12](#)

Attic/roof air/vapor barrier: • [Not visible](#)

Attic/roof ventilation: • [Roof vent](#)

Wall insulation material: • Not visible

Wall air/vapor barrier: • Not visible

Mechanical ventilation system for building: • Any mechanical ventilation notes typically will be found under "Heating & Interior" tabs.

Regarding heating and ventilation systems.

Observations & Recommendations

ATTIC/ROOF \ Insulation

9. Condition: • Gaps/ voids or low spots

Uneven distribution of insulation

Recommend leveling all insulation to create a uniform even blanket of insulation everywhere

Location: Attic various areas

Task: Install new layer or relevel existing insulation

Time: Unpredictable

Cost: Depends on approach

ATTIC/ROOF \ Hatch/Door

10. Condition: • Hatch opening too small.

Location: Attic

INSULATION AND VENTILATION

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Task: Adjust / Correct

Time: When necessary

Cost: Minor

Inspection Methods & Limitations

Inspection limited/prevented by lack of access to: • Insulation covered by finished walls, ceilings etc. can not be determined. (For either type or quantity)

Attic inspection performed: • From access hatch

Roof space inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Insulation cannot be disturbed

Descriptions

Water supply source (based on observed evidence): • Public

Service piping into building: • [Not visible](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Front of the basement



18. Front of the basement

Water flow and pressure: • [Functional](#)

Water heater type: • High efficiency • Tank

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method: • Direct vent

Water heater manufacturer:

- GSW



19. GSW

Water heater tank capacity: • 189 liters

Water heater approximate age: • 15 years

Water heater failure probability: • [Medium](#) • [High](#)

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#) • [Cast iron](#)

Pumps: • None

Floor drain: • Near laundry area

Gas piping material: • Steel

Main gas shut off valve location: • Exterior • Gas meter

Backwater valve: • None noted

Exterior hose taps (outdoor faucet):

• Exterior hose tap(s) noted/ visible

1 exterior water tap noted, interior winter shut off valve located

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations & Recommendations

SUPPLY PLUMBING \ Water service pipe

11. Condition: • Could not determine supply pipe material to the home. This era of home could potentially have lead or galvanized supply piping. Recommend investigate further to determine pipe material and deal with replacing pipe if lead of galvanized is still in use.

Location: Basement front wall

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed

WASTE PLUMBING \ Drain piping - performance

12. Condition: • Cast iron drain pipes. (Past its typical life expectancy) These drain pipes can be tied into clay drain pipes underground and beyond the foundation of the home.

Recommend having piping scoped with a drain camera (all the way to the city connection) to check the condition and determine how urgent replacing or upgrading the pipes would be.

This piping issue is typical to this age bracket of home, and if only in use on the vent stack or vertical sections replacement may not be required

Location: Section(s) noted in basement or above the roof

Task: Further evaluation

Time: Unpredictable

Cost: Depends on work needed - Major when replacing



20. Cast iron drain pipes. (Past its typical...

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inspection Methods & Limitations

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains • Pool • Spa • Water features • Landscape irrigation system • Garburators/ Waste disposal systems • Fire Suppression Systems • Toilet mounted accessory bidet units

Items excluded from a building inspection: • Whirlpool tub • Hot tub • Sauna

Not included as part of a building inspection: • Wells, well pumps, and water storage related equipment • Water conditioning systems • Solar water heating systems • Geothermal water heating systems • Fire extinguishers and sprinkler systems

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Descriptions

Major floor finishes: • [Hardwood](#) • [Laminate](#) • [Ceramic](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Sliders](#)

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • Metal-clad • [Storm](#)

Doors: • Inspected

Laundry facilities: • Laundry tub • Washer • Hot/cold water supply • 120-Volt outlet • Dryer • Vented to outside • 240-Volt outlet

Kitchen ventilation: • Exhaust fan

Washroom ventilation: • Window

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Inventory Range:

• Samsung



21. Samsung

Inventory Dishwasher:

• Frigidaire

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22. Frigidaire

Inventory Refrigerator:

- Frigidaire



23. Frigidaire

Inventory Microwave or Microwave/Rangehood:

- Samsung



24. Samsung

Inventory Washing Machine:

- LG



25. LG

Inventory Dryer:

- Whirlpool

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26. Whirlpool

Observations & Recommendations

STAIRS \ Handrails and guards

13. Condition: • [Missing](#)

Safety recommendation

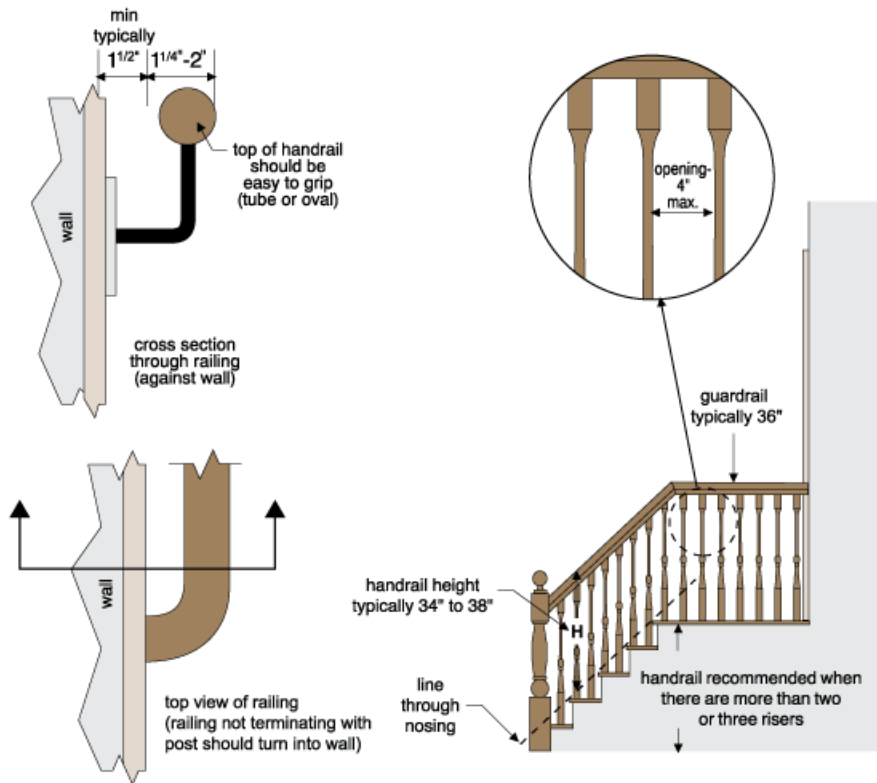
Location: Basement staircase

Task: Install / Add New (as needed)

Time: Immediate

Cost: Minor - Preventative recommendation

Handrails and guards



27. Missing

STAIRS \ Spindles or balusters

14. Condition: • [Too far apart](#)

Safety recommendation

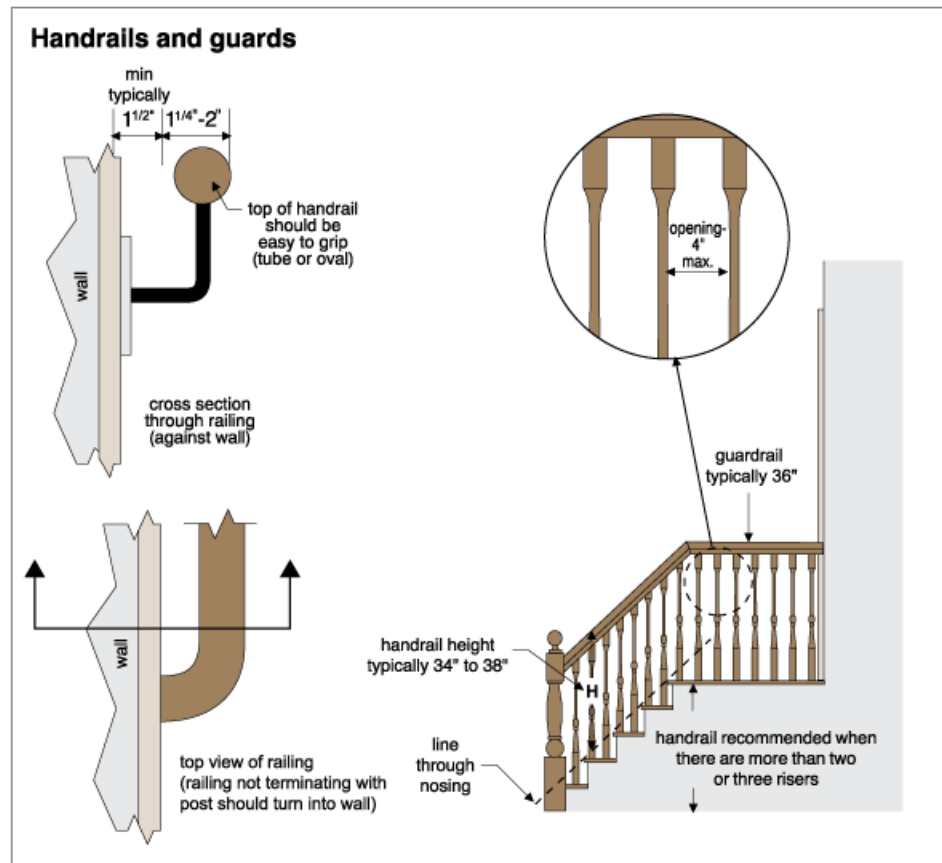
Maximum spacing at widest point can not exceed 4"

Location: 2nd floor staircase (at top only)

Task: Repair/ adjust

Time: Unpredictable

Cost: Depends on approach



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28. Too far apart

Inspection Methods & Limitations

Inspection limited/prevented by: • Storage/furnishings • Storage in closets and cabinets / cupboards • Remote control items (if any) if remote is missing or has dead batteries

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Security systems and intercoms • Cosmetic issues • Perimeter drainage tile around foundation, if any • Decorative items • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos • Paint, wallpaper, and other finishes • Floor coverings • Window treatments • Window coatings and seals between panes of glass • To determine if any secondary units (basement apartments or other) built into homes meet legal status with municipality • Elevators, chair lifts, dumb waiters etc... any lift mechanisms are not inspected or tested.

Not included as part of a building inspection: • Waste disposal systems (Garburator) if any • Microwave ovens (if any)

Appliances: • Appliances are not moved during an inspection

Percent of foundation not visible: • 70 %

Basement: • Storage in basement limited inspection • Finished basement walls and floors hinders visibility and the ability to determine

prior or existing ongoing leak issues. • Painted foundation walls also can hinder detecting leak or foundation issues. •

Inspector can not predict the possibility, frequency, or severity of any basement/ crawlspace leaks

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

PARKING STRUCTURES

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Parking Structure Type: • No parking structure

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Weather:

- Cloudy
 - Overcast
 - Ground was damp
 - There was precipitation the day before the inspection.
 - Moderate winds
 - Recent weather conditions in the past 24 to 48 hours
- Wet snow, cloudy, rainy, windy

Approximate temperature:

- 4°
 - Temperature ranges in the past 24 to 48 hours
- Low -2... high +6

Attendees: • Seller's representative

Occupancy: • The home was occupied/ lived in at the time of the inspection

Approximate inspection Start time: • The inspection started at 5:00 p.m.

Approximate inspection End time: • The inspection ended at 8:00 p.m.

Approximate age of home: • 90 to 100 years

Building type: • Semi-detached house

Number of stories: • 2

Number of washrooms: • 2

Number of kitchens: • 1

Below grade area: • Basement

Inspection Methods & Limitations

General: • Repair costs will always vary depending on: contractor, the repair process, quality of materials or equipment installed, workmanship etc...

For that reason any references to cost within the report will be limited to very rough generalization if any. Some repairs need to be assessed

further to determine extent of work needed which would affect the repair costs.

Cost references you may see in the report see below:

"Very Minor" repairs under \$100.

"Minor" any one item under \$1000.

"Major" any one item over \$1000.

* . *

Note, not all defects will have pictures and quality of pictures taken will depend on site conditions. Some pictures are taken to help better identify the issue and its location or to show limitations. Any defect pictures in the report do not always represent the full extent of the issue. There may be more examples of the same issue with no pictures.

SITE INFO

35 Darrell Avenue, Toronto, ON March 25, 2025

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
PARKING ST	SITE INFO	REFERENCE							

END OF REPORT

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
PARKING ST	SITE INFO	REFERENCE							

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS