



# YOUR INSPECTION REPORT

*Inspection, Education, Knowledge. Since 2006.*

PREPARED BY:  
ADAM HANNAN



FOR THE PROPERTY AT:  
61 Skylark Road  
Toronto, ON M6S 4M5

PREPARED FOR:  
GILLIAN RITCHIE

INSPECTION DATE:  
Friday, September 19, 2025

## TIP

THE  
INSPECTION  
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2

416-725-5568  
HST# 89249 4501 RT0001

[www.inspectionpros.ca](http://www.inspectionpros.ca)  
[adam@inspectionpros.ca](mailto:adam@inspectionpros.ca)



# TIP

THE  
INSPECTION  
PROFESSIONALS

September 21, 2025

Dear Gillian Ritchie,

RE: Report No. 8553, v.3  
61 Skylark Road  
Toronto, ON  
M6S 4M5

Thank you for choosing The Inspection Professionals to perform your Property Inspection. You can navigate the report by clicking the tabs at the top of each page. The Reference tab includes a 500-page Reference Library.

The Inspection Professionals (TIP) is a certified multi-inspector award-winning company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a Certified Master Inspector and member of the International Association of Certified Home Inspectors (CPI # NACHI07020704)

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

#### BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$295. A full phone report review is also available.

Sincerely,

ADAM HANNAN  
on behalf of  
THE INSPECTION PROFESSIONALS, INC.

THE INSPECTION PROFESSIONALS,  
INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2  
416-725-5568  
HST# 89249 4501 RT0001  
[www.inspectionpros.ca](http://www.inspectionpros.ca)  
[adam@inspectionpros.ca](mailto:adam@inspectionpros.ca)

# SUMMARY

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## HIGHLIGHTS:

This well-built semi-detached 1955 solid masonry home on concrete block foundations is in very good condition overall compared to homes of similar age and style. No significant structural performance-related concerns were observed at the time of inspection.

The roof features premium asphalt shingles, approximately 7 years old, and is in good condition overall.

The electrical service is 100 amps with copper wiring throughout, including a combination of grounded and ungrounded circuits typical of the era.

The HVAC system consists of a high-efficiency furnace (5 years old) and a central air conditioner (7 years old).

The attic insulation has been upgraded to modern standards.

The water heater is a tankless unit (4 years old).

The majority of windows were replaced in 2020 with double-glazed, energy-efficient units.

The interior has been updated in some areas, including the kitchen and bathroom.

As is typical for homes of this age, there is a mix of newer and older systems and components.

## IMPORTANT NOTES ABOUT THIS REPORT

This summary outlines some of the potentially significant issues that may require short-term attention due to cost, safety, or performance concerns. This section is provided as a courtesy only and is not a substitute for reading the entire report. Please review the full report in detail.

It is not possible for a home inspector to predict the future. We recommend budgeting between 0.5% to 1% of the home's value annually for unforeseen repairs and maintenance. This applies to any property you may consider.

Things will wear out, break down, and fail without warning. This is a normal part of home ownership.

This inspection was performed in accordance with the most recent CAHPI Standards of Practice.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS.

NOTE: THE TERM 'MINOR' GENERALLY REFERS TO COSTS UNDER \$1000.

NOTE: FOR DIRECTIONAL PURPOSES, "FRONT" OF HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE OUTSIDE.

During a home inspection, we evaluate all visible systems and components. Hundreds of potential minor issues exist in every home old or new. This inspection is not a technical audit. (A technical audit can be performed at an additional cost.)

The focus of this inspection was to identify major issues with major systems and components.

For clarity, major issues generally fall into four categories:

- 1) OBSERVABLE STRUCTURAL DEFECTS
- 2) OBSERVABLE WATER LEAKAGE OR DAMAGE -- Roofing, Plumbing, and Basement.
- 3) OBSERVABLE ELECTRICAL DEFECTS

# SUMMARY

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## 4) LIFESPAN SYSTEMS -- Roof Covering, Heating, Cooling, Windows

Disclaimer / Note to prospective buyers: This inspection report was performed for our client(s) named on this report. No liability is assumed for third parties reviewing this report. An onsite review must be arranged if you are a buyer, including signature on our inspection agreement. By relying on this report without our onsite review, you agree to waive all rights.

For approximate cost guidance on common home components, click here:

<http://www.inspectionlibrary.com/costs.htm>

## Electrical

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • Ungrounded Wiring - We noted ungrounded outlets in some areas of the home. This is typical for homes of this era, as conductors did not include a ground wire. For occupant safety, it is recommended to upgrade ungrounded circuits with GFCI protection. For electronic equipment such as computers, true grounding is recommended. Additionally, consult with your insurance company for their requirements regarding ungrounded wiring.

**Implication(s):** Shock Hazard

**Location:** Various

**Task:** Provide GFCI outlets or GFCI breakers for these areas

**Time:** As soon as possible

### DISTRIBUTION SYSTEM \ Switches

**Condition:** • Light and fan wired to the same switch timer.

When the timer expires, both shut off. This setup is not ideal, as lighting should be independently controlled.

(E.g., a person taking a shower could be left in darkness if the timer expires during use.)

**Implication(s):** Safety hazard

**Location:** Basement bathroom

**Task:** Correct - Provide independent light control

**Time:** As soon as possible

**Cost:** Minor

## Heating

### RECOMMENDATIONS \ General

**Condition:** • Duct insulation may contain asbestos (typical for homes of this age)

Material appears intact and is generally considered low risk when undisturbed.

See detailed note in body of report.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a

# SUMMARY

61 Skylark Road, Toronto, ON    September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>



# ROOFING

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Descriptions

### Sloped roofing material:

- Asphalt shingles -- Good condition



1. Asphalt shingles -- Good condition

**Approximate age:** • 7 years

**Typical life expectancy:** • 15-25 years

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Roofing issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes.

### RECOMMENDATIONS \ Overview

**Condition:** • Annual roof tune-ups are recommended to find and repair damage to roofing materials, flashings and caulking. Roof tune-ups reduce the risk of leaks and resulting water damage and help extend the service life of the roof.

**Location:** Exterior Roof

**Task:** Inspect annually

**Time:** Ongoing

## Inspection Methods and Limitations

**General and Best Practices:** • Most roofs are susceptible to ice damming under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather • • Roof replacement best practices - Strip Roof Covering when replacing. When replacing a roof covering, it is best practice to remove the old layer before installing the new one. While adding a new layer over the existing roof is sometimes done to reduce costs, it can conceal damaged roof boards, flashings, or other components. Installing a third layer is not recommended. Hidden defects are often only discovered during the tear-off process.

**Inspection performed:** • With binoculars from the ground • With a drone

**Age determined by:** • Drone • Roof age estimated using historical imagery (Google Maps) from prior years.

# EXTERIOR

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Descriptions

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout discharge:** • Below and above grade

**Lot slope:** • [Away from building](#) • [Towards building](#) • [Flat](#)

**Wall surfaces - masonry:** • [Brick](#) • [Stone](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Exterior issues noted have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, moisture intrusion, personal safety, shortened life expectancy of materials, and material deterioration

### WALLS \ Flashings and caulking

**Condition:** • FOR ALL HOMES - Caulking around windows, doors, and wall penetrations should be inspected regularly and improved as needed to prevent moisture entry and air leakage.

### WALLS \ Masonry (brick, stone) and concrete

**Condition:** • FOR ALL HOMES - Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

### EXTERIOR GLASS/WINDOWS \ General notes

**Condition:** • [Caulking missing, loose or deteriorated](#)

**Location:** Rear Exterior above sliding door frame

**Task:** Seal

**Time:** Less than 1 year

**Cost:** Minor Regular maintenance item



2. Caulking missing

### EXTERIOR GLASS/WINDOWS \ Exterior trim

**Condition:** • [Sill deteriorated](#)

# EXTERIOR

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Masonry deterioration is commonly observed on exterior window brick sills. Brick sills typically deteriorate over time. Consider replacing them with limestone or concrete sills to reduce long-term maintenance requirements.

**Location:** Exterior

**Task:** Repair or Replace

**Time:** Less than 1 year

**Cost:** \$500 and up per sill



3. example

## EXTERIOR GLASS/WINDOWS \ Window wells

**Condition:** • [Less than 6 inches below window](#)

See illustration. Ensure window well drainage is not clogged.

Additionally plastic well covers recommended

**Implication(s):** Chance of water entering building

**Location:** Various Left Exterior

**Task:** Improve

**Time:** Less than 1 year

**Cost:** Regular maintenance item



# EXTERIOR

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

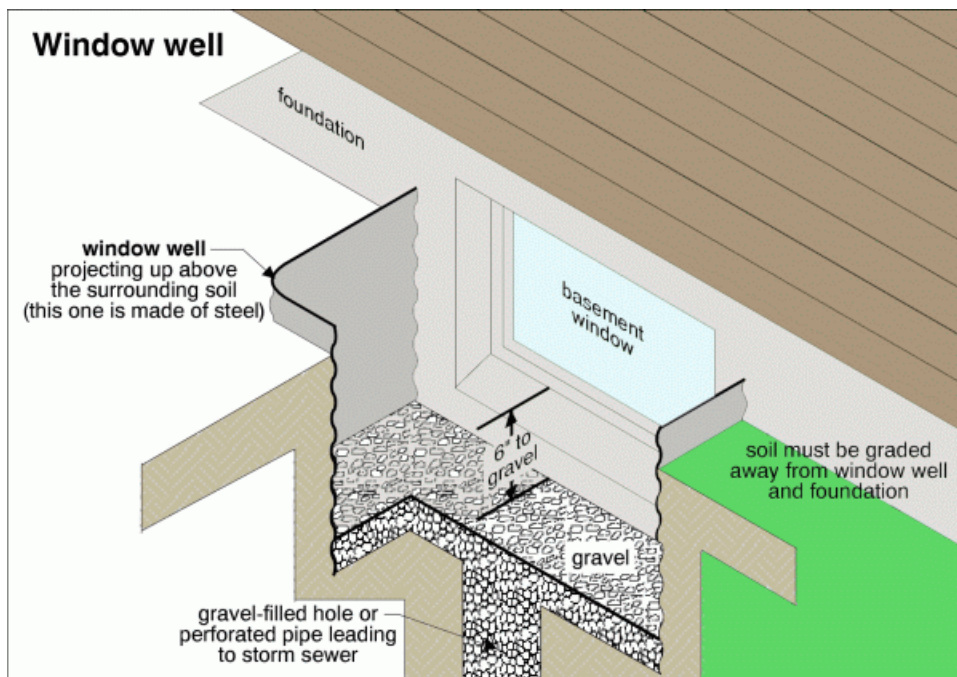
PLUMBING

INTERIOR

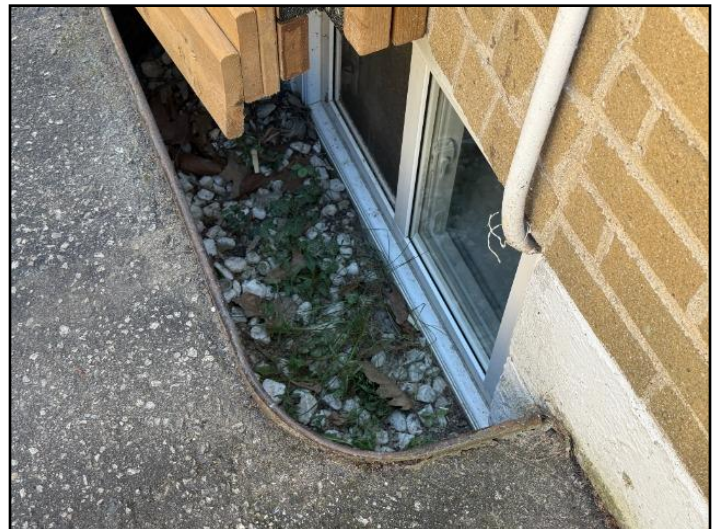
MORE INFO

APPENDIX

REFERENCE



4. Less than 6 inches below window



5. Less than 6 inches below window

## DOORS \ General notes

**Condition:** • Threshold too low

Having a minimal step makes the inside/outside transition easier. On the other hand, it also makes it more prone to snow buildup/leakage.

While it is probably not practical to improve the current situation, it will be important to keep any weatherstripping/caulking in good condition.

**Implication(s):** Chance of moisture intrusion

**Location:** Rear Exterior Deck

**Task:** Monitor for moisture intrusion / Improve

# EXTERIOR

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

**Time:** If/as necessary



6. Threshold too low

## **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards**

**Condition:** • [Too low](#)

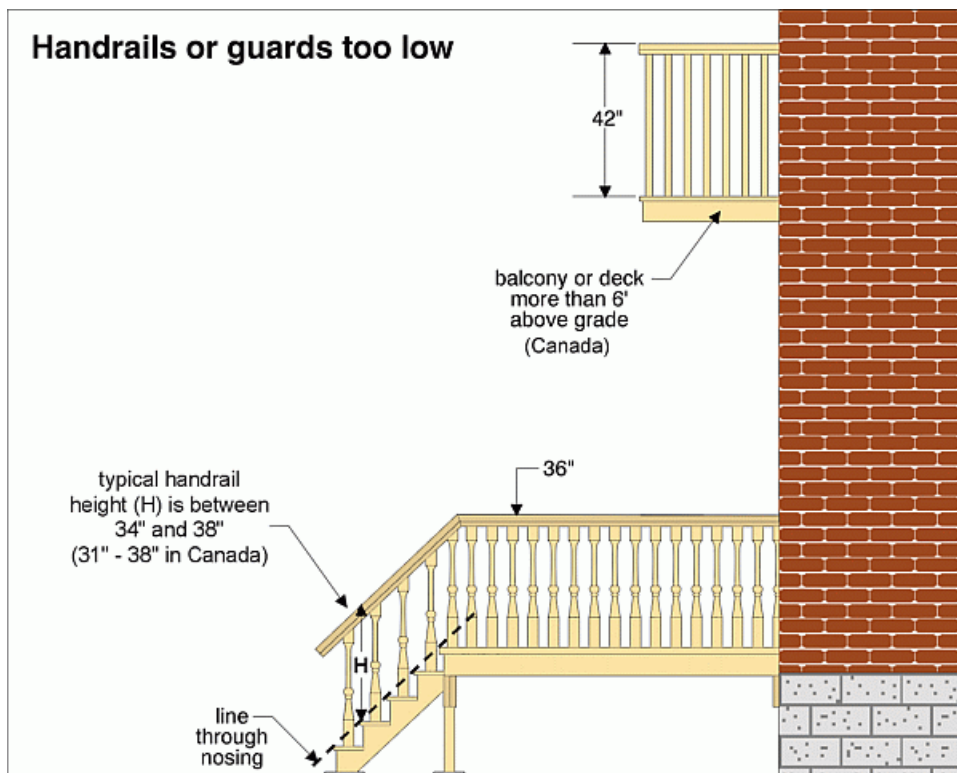
Below modern standards

**Implication(s):** Fall hazard

**Location:** Front Exterior Porch

**Task:** Upgrade

**Time:** As soon as practical





# EXTERIOR

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



7. Too low

## LANDSCAPING \ Lot grading

**Condition:** • Low Areas.

Fill in low areas and ensure the ground slopes away from the home for at least 6 feet to promote proper drainage. This is a standard maintenance practice for all homes to prevent water accumulation near the foundation

**Implication(s):** Potential for water intrusion

**Location:** Rear Exterior

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Regular maintenance item

# EXTERIOR

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Recommended grading slopes



8. example of low area

**Condition:** • FOR ALL HOMES - During rainfall, walk the perimeter of the home to observe whether any areas allow water to drain toward the foundation. Improve grading in those areas as needed to promote proper drainage away from the structure.

### LANDSCAPING \ Walkway

**Condition:** • [Unsealed gap at building](#)

**Location:** Various Exterior front and driveway



# EXTERIOR

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

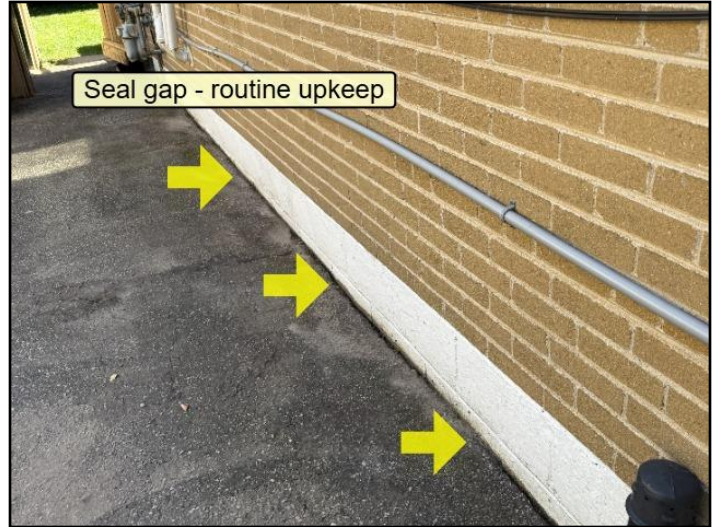
**Task:** Seal

**Time:** Regular maintenance

**Cost:** Minor



9. Unsealed gap at front



10. Unsealed gap at building

## LANDSCAPING \ Driveway

**Condition:** • Driveway settlement / low areas near home.

**Location:** Left Exterior

**Task:** Improve / Provide additional asphalt

**Time:** Less than 2 years

**Cost:** Regular maintenance item



11. Driveway settlement near garage



# EXTERIOR

61 Skylark Road, Toronto, ON    September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Poor access under steps, deck, porch

**Upper floors inspected from:** • Ground level

**Not included as part of a building inspection:** • Underground components (e.g., oil tanks, septic fields, underground drainage systems)

## Descriptions

**General:** • No significant structural performance issues were observed in visible areas.

**Configuration:** • [Basement](#)

**Foundation material:** • [Masonry block](#)

**Floor construction:** • [Joists](#) • Subfloor - plank

**Exterior wall construction:** • [Masonry](#)

**Roof and ceiling framing:** • Rafters

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Structure issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

### FOUNDATIONS \ General notes

**Condition:** • Typical Minor Cracks - Block, Brick, Stone

Almost all houses with concrete block, brick or stone foundations have minor settlement and/or cracks. Monitor all cracks for movement and nuisance water leakage. Repair cracks only if necessary

**Implication(s):** Damage to contents, finishes and/or structure / Nuisance

**Location:** Various Exterior Wall

**Task:** Monitor / Repair

**Time:** Ongoing / If necessary

### WALLS \ Solid masonry walls

**Condition:** • [Prior repairs](#)

It is common to find a multitude of wall repairs on homes of this age (including prior window removals or new door/window installations)

**Location:** Various Exterior Wall

**Task:** For Your Information / Monitor

# STRUCTURE

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



12. example

**Condition:** • [Mortar missing](#)

**Location:** Front Exterior Wall

**Task:** Provide mortar

**Time:** Less than 2 years

**Cost:** Regular maintenance item



13. Mortar missing



14. Mortar missing

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Finishes, insulation, furnishings and storage conceal structural components.

**Attic/roof space:** • Inspected from access hatch

**Percent of foundation not visible:** • 90 %

**Not included as part of a building inspection:** • An opinion about the adequacy of structural components

## Descriptions

**General:** • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

**Service entrance cable and location:** • [Overhead - cable type not determined](#)

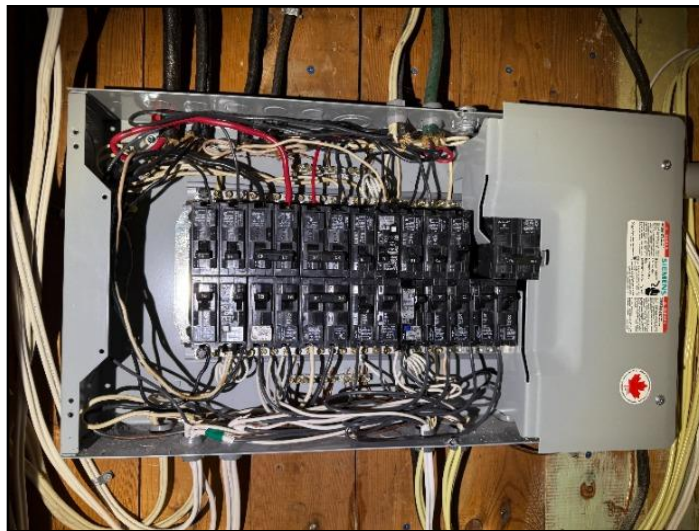
**Service size:** • [100 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**System grounding material and type:** • [Copper - water pipe](#)

**Distribution panel type and location:**

• [Breakers - basement](#)



15. Breakers - basement

**Distribution panel rating:** • [125 Amps](#)

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded and ungrounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom and exterior](#)

**Smoke alarms (detectors):** • [Present](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • ALL ELECTRICAL recommendations are safety-related. POTENTIAL worst-case implications include fire and shock hazards. Treat them as high-priority items and assume the time frame is Immediate / As soon as possible unless otherwise noted.

### SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**Condition:** • Breaker in OFF position

**Location:** Various Basement Panel

**Task:** For Your Information



## SERVICE BOX, GROUNDING AND PANEL \ Panel wires

**Condition:** • White wires connected to breakers not identified as hot/live/ungrounded

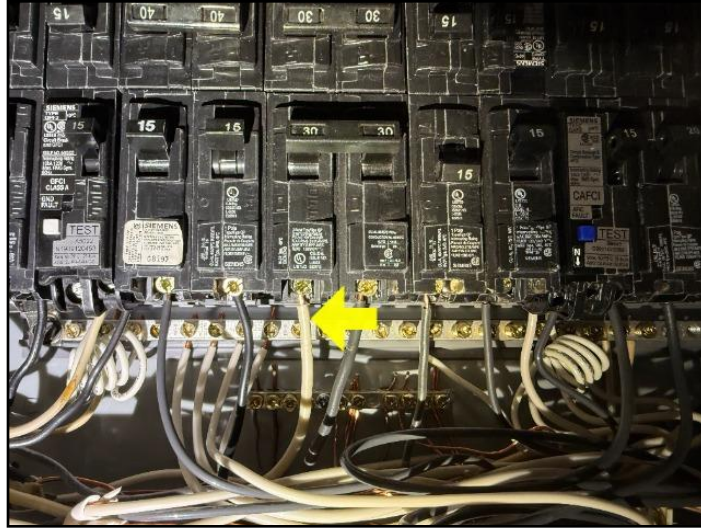
White wire used as hot wire not marked

**Location:** Basement Panel

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Minor



16. White wires connected to breakers not...

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

Additionally, outlet is loose.

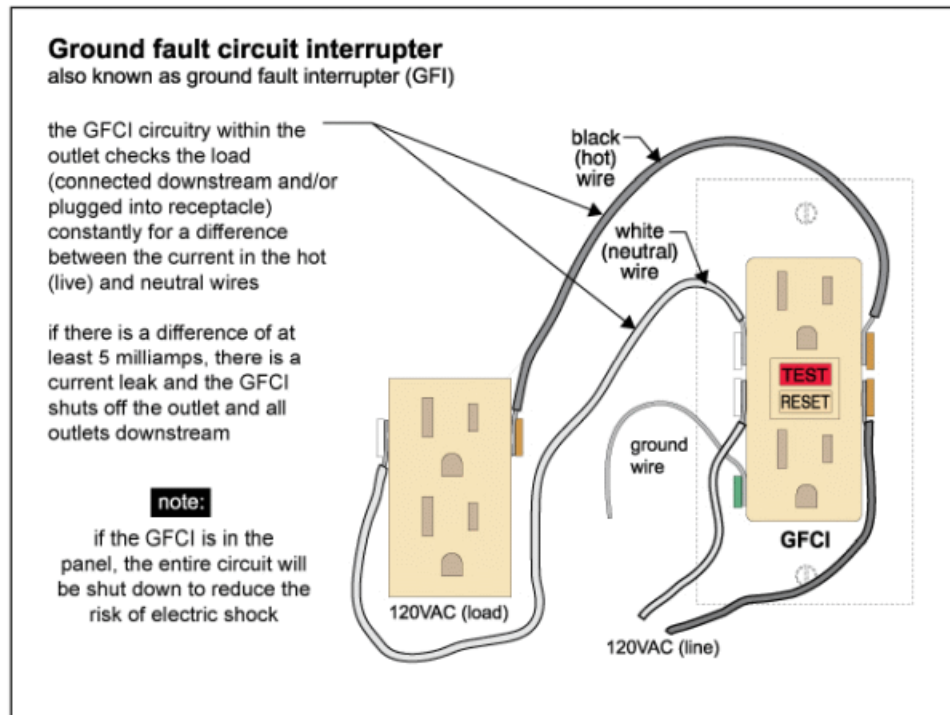
**Implication(s):** Electric shock

**Location:** Second Floor Bathroom

**Task:** Replace with gfi outlet

**Time:** As Soon As Possible

**Cost:** Minor



**Condition:** • Ungrounded Wiring - We noted ungrounded outlets in some areas of the home. This is typical for homes of this era, as conductors did not include a ground wire. For occupant safety, it is recommended to upgrade ungrounded circuits with GFCI protection. For electronic equipment such as computers, true grounding is recommended. Additionally, consult with your insurance company for their requirements regarding ungrounded wiring.

**Implication(s):** Shock Hazard

**Location:** Various

**Task:** Provide GFCI outlets or GFCI breakers for these areas

**Time:** As soon as possible

### DISTRIBUTION SYSTEM \ Switches

**Condition:** • Light and fan wired to the same switch timer.

When the timer expires, both shut off. This setup is not ideal, as lighting should be independently controlled. (E.g., a person taking a shower could be left in darkness if the timer expires during use.)

**Implication(s):** Safety hazard

**Location:** Basement bathroom

**Task:** Correct - Provide independent light control

**Time:** As soon as possible

**Cost:** Minor

### DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**Condition:** • Missing

No ceiling-mounted smoke detectors were found in the basement

**Implication(s):** Safety issue

**Location:** Basement (excluding detectors in stairwell)

# ELECTRICAL

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

**Task:** Provide

**Time:** As Soon As Possible

**Cost:** Minor

**Condition:** • General safety reminder for ALL homes -

This is a standard note included in every inspection report:

Smoke and carbon monoxide (CO) detectors should be installed on every floor level. Smoke detectors should be located near all sleeping areas, and CO detectors should be present near fuel-burning appliances, fireplaces, or attached garages.

These devices are not tested during the home inspection. Regardless of visible condition, detectors should be tested regularly and replaced every 10 years. If the age is unknown, replacement is recommended as a precaution. Batteries should be changed annually.

## Inspection Methods and Limitations

**System ground:** • Quality of ground not determined

# HEATING

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Descriptions

**Heating system type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [60,000 BTU/hr](#)

**Efficiency:** • [High-efficiency](#)

**Approximate age:** • [5 years](#)

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Main fuel shut off at:** • Meter

**Fireplace/stove:** • None

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • Set up annual service plan which includes coverage for parts and labour.

**Location:** Basement Furnace Room

**Task:** Service annually

**Time:** Ongoing

**Cost:** Regular maintenance item

**Condition:** • Duct insulation may contain asbestos (typical for homes of this age)

Material appears intact and is generally considered low risk when undisturbed.

See detailed note in body of report.

### GAS FURNACE \ Ducts, registers and grilles

**Condition:** • Insulation on ductwork may contain asbestos

The insulation wrap on the heating ductwork appears to be the original type commonly used in homes built from the 1940s through the 1970s, and may contain asbestos. This material was widely used at the time for thermal insulation.

**Implication(s):** Potential health hazard if disturbed

**Location:** Various heating duct (as observed from basement)

**Task:** Test before disturbing material

**Time:** If renovating or if insulation is damaged

**Cost:** Varies lab testing minor; removal if needed can range from \$500 - \$2,000+

# HEATING

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



17. Insulation on ductwork may contain asbestos



18. Insulation on ductwork may contain asbestos

**Condition:** • Typical of an older layout, some of the registers are at interior walls and/or floors and not below the windows. Provide auxiliary heating near windows if necessary (baseboards for example)

**Location:** Various

**Task:** Provide auxiliary heat source

**Time:** If necessary

**Cost:** Depends on approach

## CHIMNEY AND VENT \ Masonry chimney

**Condition:** • Loose, missing or deteriorated masonry and/or mortar

Additionally, chimney cap (crown) exhibits cracks. Appears to be a shared chimney - typically repair costs are shared.

**Location:** Exterior Chimney

**Task:** Repair

**Time:** Less than one year / Regular maintenance

**Cost:** \$800 - \$1500+



# HEATING

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



19. Loose, missing or deteriorated masonry...

## Inspection Methods and Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible

# COOLING & HEAT PUMP

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Descriptions

**Air conditioning type:** • [Air cooled](#)

**Cooling capacity:** • [18,000 BTU/hr](#)

**Compressor approximate age:** • 7 years

**Typical life expectancy:** • 10 to 15 years

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • In general, air conditioning units have a lifespan of 10-15 years but often last longer with regular servicing.

### RECOMMENDATIONS \ Overview

**Condition:** • No air conditioning or heat pump recommendations are offered as a result of this inspection.

## Inspection Methods and Limitations

**Heat gain/loss calculations:** • Not done as part of a building inspection

## Descriptions

### Attic/roof insulation material:

- [Cellulose](#)

Upgraded insulation level



20. Cellulose

Attic/roof insulation amount/value: • R-60

Attic/roof air/vapor barrier: • [Plastic](#) • Spot Checked Only

Attic/roof ventilation: • [Roof and soffit vents](#)

## Observations and Recommendations

### RECOMMENDATIONS \ Overview

**Condition:** • No insulation recommendations are offered as a result of this inspection.

## Inspection Methods and Limitations

**Inspection limited/prevented by lack of access to:** • Walls, which were spot checked only

**Attic inspection performed:** • From access hatch

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

## Descriptions

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#) • PEX (cross-linked Polyethylene)

**Main water shut off valve at the:**

- Main water shut off valve - Basement



21. Main water shut off valve - Basement

**Water flow and pressure:** • [Functional](#)

**Water heater type:** • Tankless/On demand

**Water heater fuel/energy source:** • [Gas](#)

**Water heater tank capacity:** • Tankless / Instantaneous

**Water heater approximate age:** • 4 years

**Water heater typical life expectancy:** • 10 to 15 years

**Waste and vent piping in building:** • [Plastic](#)

**Floor drain location:** • Basement bathroom

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Plumbing issues have POTENTIAL worst-case implications of water damage to contents, finishes and/or structure, no hot or cold water, leakage, possible hidden damage, health hazards.

### FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

**Condition:** • Handle loose OR damaged

**Location:** Left Exterior

**Task:** Secure and seal

**Time:** Less than 1 year

**Cost:** Regular maintenance



22. Handle loose OR damaged

## **FIXTURES AND FAUCETS \ Bathtub enclosure**

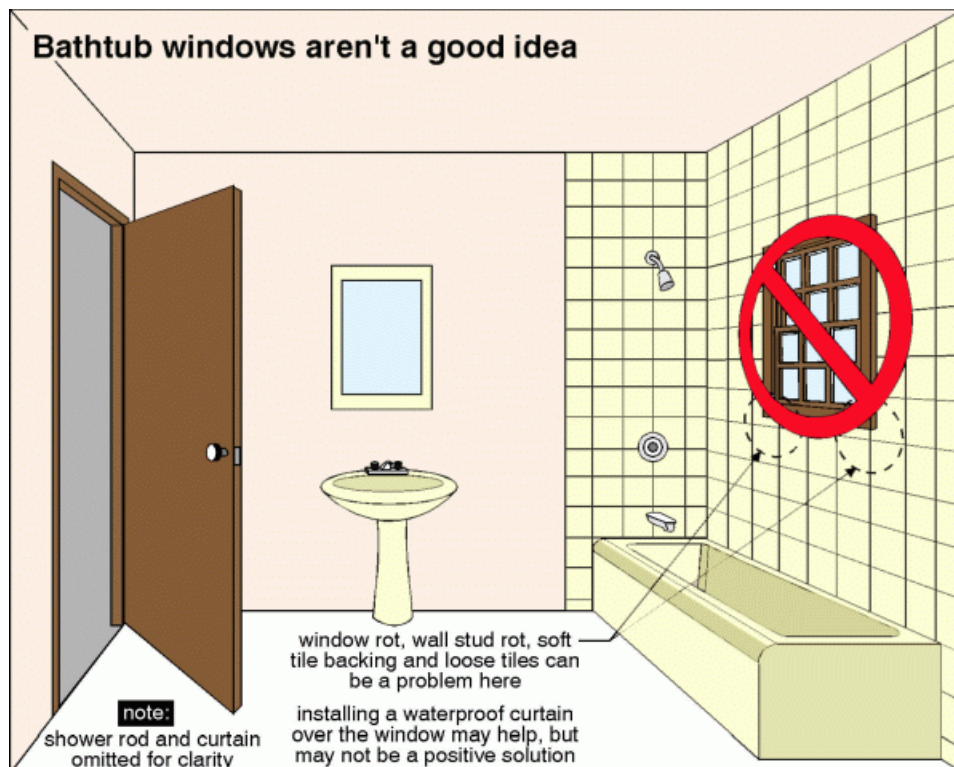
**Condition:** • [Unprotected window](#)

Windows in bathtub area were common when this house was originally built. These windows are vulnerable to water damage. Shower Curtain can provide temporary protection. Ensure grout and caulking are maintained regularly

**Location:** Second Floor Bathroom

**Task:** Protect

**Time:** Ongoing





## FIXTURES AND FAUCETS \ Toilet

**Condition:** • [Loose](#)

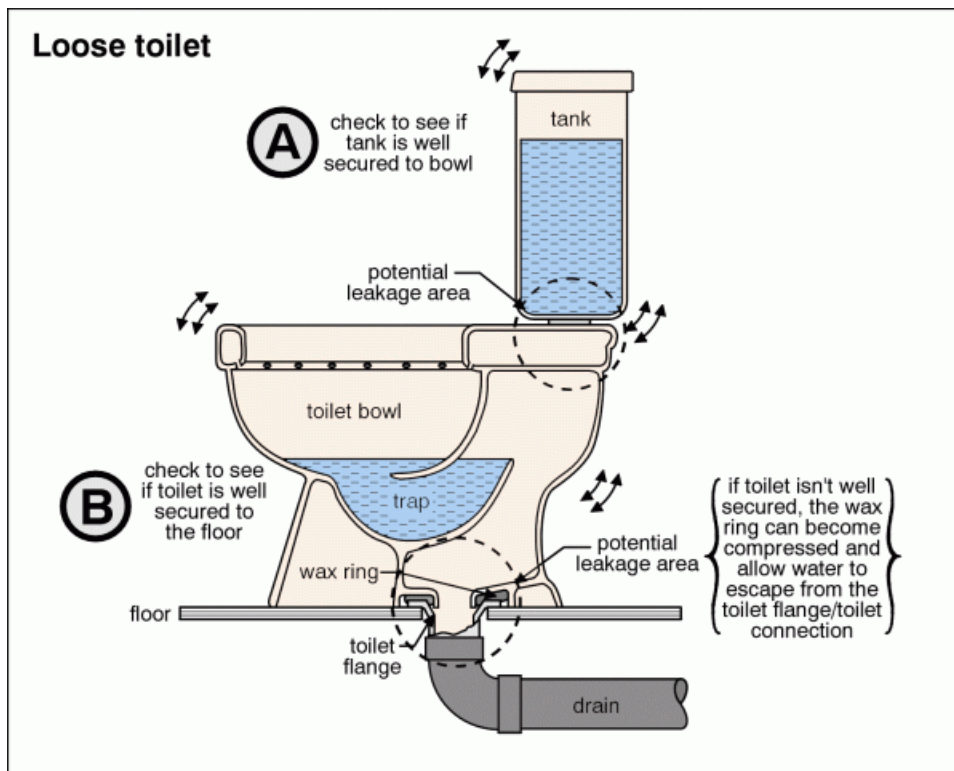
**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Second Floor Bathroom

**Task:** Correct

**Time:** As Soon As Possible

**Cost:** Regular maintenance item



## Inspection Methods and Limitations

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

## Descriptions

**General:** • The interior of the home is in good condition overall.

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • All windows that were tested were functional

**Windows:** • Most windows in the home manufactured 2020. The first floor front fixed window and rear sliding door and rear window manufactured in 1978.

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • Hinged • [Sliding glass](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Interior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

**Condition:** • Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear. This can include worn or cracked flooring and blemishes on wall/ceilings

### RECOMMENDATIONS \ Overview

**Condition:** • During our inspection, we look for evidence of basement moisture intrusion. We did not observe standing water or evidence of active moisture intrusion in visible areas on this particular day.

### FLOORS \ Subflooring

**Condition:** • Slope or Sag Noted.

Some minor sloping or sagging or uneven floors were observed in various areas of the home. These conditions are common in houses of this age and reflect normal settlement and wear over time. No immediate structural concerns were noted during the inspection.

**Location:** Various

**Task:** Repair when desired or when remodelling

**Cost:** Depends on cause (Joists / foundations / subfloor, etc)

### WINDOWS AND DOORS \ General notes

**Condition:** • Aging

Majority of windows have been updated in 2020.

At first floor, front and rear window and sliding door are aging - 1970s but remain functional.

We typically recommend immediate replacement only for windows or doors that are leaking, inoperative, or significantly deteriorated.

**Location:** First floor front fixed window and rear sliding door and window

**Task:** Upgrade

**Time:** Discretionary / When necessary

**Cost:** When time to replace, Major \$60 - \$100 per square foot

### STAIRS \ Guardrails

**Condition:** • [Too low](#)

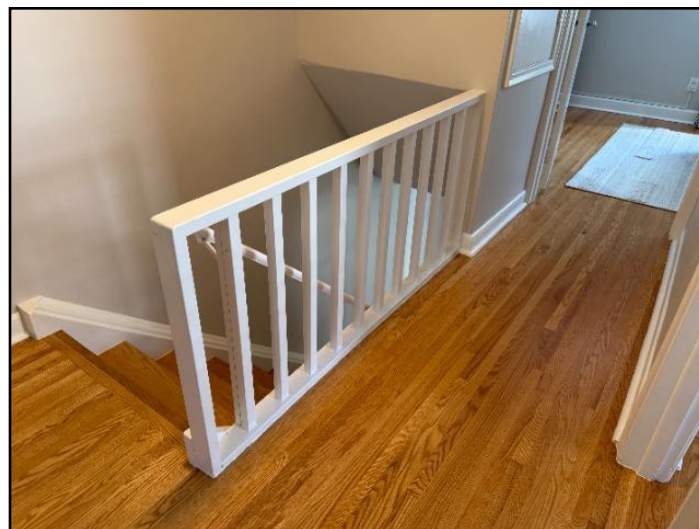
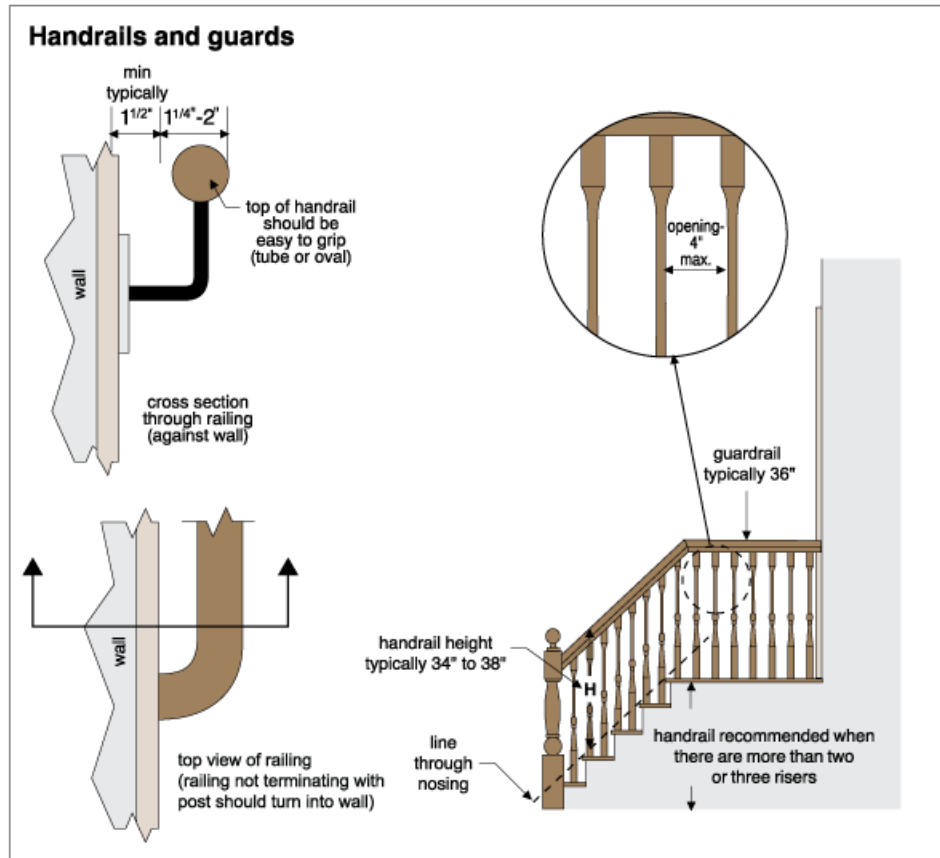
Below modern standards

**Implication(s):** Fall hazard

**Location:** Second Floor Hall

**Task:** Upgrade

**Time:** As soon as practical



23. Too low

## EXHAUST FANS \ General notes

**Condition:** • [Missing](#)

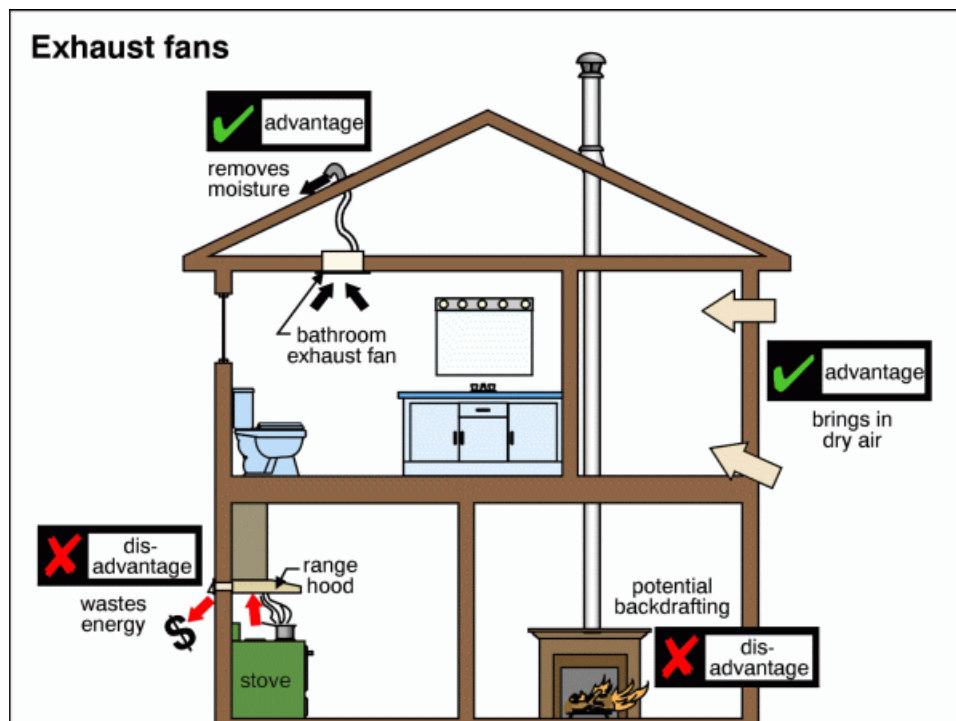
Exhaust fans in bathrooms are recommended upgrades. While not standard when the house was originally built, when only windows were required, exhaust fans help to remove moisture, which could otherwise contribute to mildew and mold growth.

**Location:** Bathroom second floor

**Task:** Upgrade

**Time:** When remodelling or as soon as practical

**Cost:** Typically \$1500 and up



## BASEMENT \ Leakage

**Condition:** • \*\*\*FOR FUTURE REFERENCE\*\*\* GENERAL ADVICE FOR ALL HOMES IF BASEMENT LEAKAGE IS EVER OBSERVED

Basement Leakage 4-step method. Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it is impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$500 to \$600 per crack or \$300 per hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)



## **BASEMENT \ Wet basements - vulnerability**

**Condition:** • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

## Inspection Methods and Limitations

**General:** • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco / stipple ceilings, glue, insulation around heating ducts and registers, plaster and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing. If you plan to remove/disturb any building material, testing for asbestos is recommended beforehand.

**Inspection limited/prevented by:** • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

**Percent of foundation not visible:** • 95 %

**Basement leakage:** • Storage in basement limited inspection • Basement leakage is common. Most basements will experience leakage at some point. We cannot predict future occurrence or extent of basement leakage • Monitor the basement for leaks in the Spring.

## MORE INFO

61 Skylark Road, Toronto, ON September 19, 2025

Report No. 8553, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

## Descriptions

**GOOD ADVICE FOR ALL HOMEOWNERS:** • The following items apply to all homes and explain how to prevent and correct some common problems.

**Roof Leaks:** • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

**Annual Roof Maintenance:** • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

**Ice Dams on Roofs:** • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

**Maintaining the Exterior of Your Home:** • Regular maintenance includes painting and caulking of all exterior wood. • To manage water drainage around the exterior, ensure that grading (ground) is maintained with a positive slope away from the home and extend any downspouts away from walls and all building components.

**Insulation Amounts - Current Standards:** • Attic current standards as of 2016 is R-60

**Reduce Air Leaks:** • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

**Bathtub and Shower Maintenance:** • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

**Basement/Crawlspace Leakage:** • Almost every basement (and crawlspace) leaks under the right conditions.

**Standards of Practice:** • [This document sets out what a professional home inspection should include, and guides the](#) activities of our inspectors.

This inspection was performed in accordance with the most recent CAHPI Standards of Practice. Click the blue link above to view the full document.

**END OF REPORT**

**This is a copy of our home inspection contract and outlines the terms,  
limitations and conditions of the home inspection**

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY AND INSPECTOR.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the Ontario Association of Home Inspectors. A copy of these Standards is available at <http://www.oahi.com/webdocs/StandardsofPractice-OAHI-Rev.pdf>.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property. A Home Inspector cannot predict future deficiencies, intermittent problems or future water leakage.

PLEASE READ THE FOLLOWING PARAGRAPH: Due to the unpredictable nature of basement water leakage, a home inspector cannot predict future basement leakage. Almost all basements will leak at some point so there is a very good chance that it will happen. Basement leakage can occur for any number of reasons - Rainfall, sewer backup, high water tables, lot grading, clogged weeping tiles, gutter and downspout performance, just to name a few. The home inspector and The Inspection Professionals accepts no responsibility or liability for future basement water problems.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended. See item 8 below.

**LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION**

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential structural problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide's or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.



If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property. If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.

7. The Client understands and agrees to be bound by each and every provision of this contract. The Client has the authority to bind any other family members or other interested parties to this Contract.

8. REPORT IS FOR OUR CLIENT ONLY. The inspection report is for the exclusive use of the client named herein. The client may provide the report to prospective buyers, at their own discretion. Potential buyers are required to obtain their own Onsite Review with The Inspection Professionals if they intend to rely on this report. The Inspection Professionals will not be responsible for the use of or reliance upon this Report by any third party without an Onsite Review and transfer of report to client after they have agreed to our inspection agreement.

9. The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS